

~~May 18, 2004 CPC~~  
June 15, 2004 CPC



STAFF'S  
REQUEST ANALYSIS  
AND  
RECOMMENDATION

04PR0322

NRP Group, L.L.C.  
(Grand Oaks Apartments – Phase II)

Bermuda Magisterial District  
North line West Hundred Road and west line of Womack Road

REQUEST: Site plan approval.

Specifically the applicant is requesting Planning Commission approval of a site plan, including approval for the removal of trees within a buffer, as required by Proffered Condition 18 of zoning Case 03SN0119.

Note: The site plan is for a phased plan with this request to include the thirty-two (32) senior housing apartments. The Planning Commission previously approved the site plan for 184 apartments including thirty-two (32) senior housing apartments with Case 04PR0201. Approval of this site plan will allow the applicant to delete the requirement for thirty-two (32) senior housing units in Phase One.

RECOMMENDATION

Staff recommends Planning Commission approval of site plan, including grading within a buffer, with two (2) conditions and review comments for the following reasons:

- A. All conditions in the zoning case that are required to be complete prior to the Planning Commission granting site plan approval have been addressed.
- B. The site plan, as revised to address all site plan review comments, noted in the one (1) condition below, will meet all requirements of the zoning case and the Zoning Ordinance with the exception of a Development Standards Waiver for a second entrance.

## CONDITIONS

1. The applicant shall obtain a Development Standards Waiver for a second entrance and make any revisions required by the Planning Commission. (P)
2. Plans shall be revised and submitted for administrative review that address the following Review Comments. (P)

## REVIEW COMMENTS

1. A Virginia Department of Transportation (VDOT) land use permit for any and all required transportation improvements on Iron Bridge Road (SR#10) and Womack Road (SR#749) will be satisfactorily completed prior to issuance of a Certificate of Occupancy for this commercial development. (VDOT)
2. Clarify which entrance will be used as a "construction entrance" for this site plan. (VDOT)
3. These plans cannot be approved until the Phase I plans are approved. All road improvements shown on the plans for Phase I must be completed, as determined by the Transportation Department, prior to issuance of any certificate of occupancy permits in either Phase. The Phase I improvements shown on these plans must match those shown on the Phase I site plan, 04PR0201. (T)
4. Based on the proposed building and street layout for Phase II of this project, Buildings 21, 22, 23 and 25 are not accessed to all exterior points of the building within 150 feet from an approved emergency fire apparatus roadway. Access from both sides of the buildings were checked to determine accessibility. Please advise as to the method to provide the required accessibility within 150 feet from an approved emergency fire apparatus access roadway. (F)
5. The FIR-1 sprinkler line, for Building 26, is in excess of the 100 feet permitted by the Chesterfield County Utilities Department for the application of the FIR-1 arrangement. The approximate distance is 133 feet. (F)
6. Show the County Project Number 04-0132 on the lower right hand corner of each sheet. (U)
7. This project will not be released for utilities construction until Phase I is under County Utilities Contract for construction. (U)
8. Show the County Project Number of the existing water/sewer lines near the connection point. (U)
9. Show the deed book and page number for the existing water/sewer easements. (U)

10. The fire line to Building 26 is over 100 feet, so show a two (2) inch double check assembly at the edge of the waterline easement. (U)
11. Cross connection control and backflow prevention shall be in accordance with the Uniform Statewide Building Code. (U)
12. The owner must enter into a County contract prior to the start of construction. Send a copy of the "accepted" bid proposal between the developer and the contractor so we may prepare the County contract. The bid proposal must be based on the approved site plan. All work must be performed by an acceptable utilities contractor. If the site plan is revised after the utility contract is prepared, a revised bid proposal may be necessary to accurately reflect the latest approved site plan, and a new contract preparation may be necessary. (U)
13. After complete site plan approval, submit three (3) sets of plans directly to the Utility Department for our use. (U)
14. A portion of the Perdue Lumber Subdivision (5670.01) must be vacated. Parcels 785-654-5817-00000, 785-654-7621-00000 and 786-654-0329-00000 are in this subdivision. (EE)
15. It is the responsibility of the applicant to comply with and/or acquire all applicable federal and/or state permits in relationship to environmental features including but not limited to "wetlands, surface waters (e.g. VPDES permit for construction sites of one (1) acre or more, ground water and air quality". Final approval of these plans will not relieve you of your responsibility. Wetlands documentation must be received by this department prior to issuance of the land disturbance permit. (EE)
16. A benchmark must be shown with reference to mean sea level. (EE)
17. The storm sewer alignment shown for Phase I as well as the storm sewer calculations do not correspond with the latest revision of the Phase I plans. Clarify (EE)
18. The outlet water surface elevation in the hydraulic gradeline calculations must equal  $0.8 \times D$  of the outflow pipe plus the invert out elevation or the inlet water surface elevation of the downstream structure, whichever is greater. Revise the calculations accordingly. (EE)
19. Provide top of wall/bottom of wall elevations for the proposed retaining wall on Sheet C5.0. (EE)
20. Pedestrian safety measures must be provided for the proposed retaining wall. Revise the retaining wall detail accordingly. (EE)

21. Revise the proposed DI-1's to DI-7's with pedestrian safe grates in the storm sewer schedule on Sheet C5.0. (EE)
22. All roof water and downdrains must be collected and discharged in a non-erodible manner. Address for Buildings 23, 24 and 25 on Sheet C5.0. (EE)
23. Steps Std. ST-1 must be specified in the tabular drainage description of any structure over four (4) feet in height. (EE)
24. Specify the length of the sediment trap outlet in the detail on Sheet C2.3. (EE)
25. Any soil stockpile area must be located on the plans. Silt fence must be provided around the perimeter if it is located outside the perimeter erosion controls for the site. (EE)
26. Revise "Phase II" in the CBPA compliance note on the cover sheet to "Phase I". (EE)
27. Clarify if the area used in the bypass flow calculation for MS-19 and Proffered Condition 15 compliance included the 2.09 acres (at C = 0.5) on the northeast side of the site. (EE)
28. The Worksheet A calculations do not match the CBPA data map. Clarify. (Impervious percentage in Step 2 should be 36.3%) (EE)
29. The CBPA data map must also show the drainage area for the SWM/BMP and specify the percent of impervious cover within the drainage area. (EE)
30. Environmental Engineering will provide a more comprehensive review on the SWM/BMP once the above three (3) comments have been addressed. (EE)
31. Ensure that all information shown on the Phase I and Phase II plans is consistent with each other, i.e. storm sewer (including calculations), MS-19/Zoning Condition 15 compliance, CBPA data map, SWM/BMP elevations and volumes, etc. (EE)
32. The name, "walk-in address" and telephone number of a local registered agent representing the owner for service of process must be provided prior to issuance of a land disturbance permit. (EE)
33. The stormwater/BMP facility must be certified by a professional engineer prior to issuance of any occupancy certificates. (EE)
34. Prior to issuance of a land disturbance permit, a diskette/CD, the format of which shall be Autocad.dwg or dxf, must be submitted to Virginia Barbour of

Environmental Engineering. The diskette/CD must contain the following, each in a separate layer:

- A. Final grading contour lines (five (5) foot intervals);
- B. Proposed building footprint;
- C. All impervious area (parking lots, driveways, roads, etc); and
- D. The storm sewer system.

A layer report printed from Autocad must be submitted with the diskette/CD. Both the diskette/CD and the report must be labeled with the site plan name, site plan number and the engineering firm. All Autocad files must be referenced directly to the Virginia State Plane Coordinate System, South Zone, in the NAD83 datum. (EE)

35. A land disturbance permit is required for this project and the following are required prior to its issuance:
  - A. Substantial or full site plan approval
  - B. A letter must be received from a qualified wetlands expert stating:
    1. There are no wetlands impacted on this project, or
    2. All applicable federal and state wetland permits have been acquired (copies of the permits must be submitted)
  - C. Issuance of the Phase I land disturbance permit (EE)
36. Put a revision date on the resubmitted plans. Resubmit twelve (12) full sets and one (1) copy of the site plan sheet to the Planning Department for your next review. Use the spaces below each comment to describe how you have addressed each review comment. Be sure to indicate which sheets show the required changes. Provide a transmittal letter to describe any changes to the plans not caused by the staff review comments. (P)
37. Put the Chesterfield County site plan number (04PR0322) in the lower right corner of each sheet. (P)
38. The GPIN numbers shown on the cover and site plan sheet include all GPIN for both Phase I and Phase II. For clarity show the GPIN numbers that apply to Phase II only then list the GPIN numbers that apply to Phase I or the total project. (P)
39. On Sheet C2.1 show the easement and buffer. Grading shall not occur in the thirty-five (35) foot easement. (P)
40. Phase II is required by the zoning case if Phase I is built. Add a note to the site plan stating that at least fifty (50) percent of the senior housing units must be

- under construction prior to release of certificate of occupancy for more than fifty (50) percent of the non-senior units. (P)
41. On Sheet C3.1, revise the fifty-one (51) foot dimension from Womack Road to fifty (50) foot setback and tree save area. This dimension was not revised when the design was revised. (P)
  42. Provide colors for the materials on the architectural elevations. Indicate type of roof shingle. (P)
  43. There are several conflicts and drafting errors on the site and landscape plans. One (1) example is a light pole located on a curb inlet between Buildings 23 and 24. Correct as needed. (P)
  44. Prior to release of building permits, the cash proffers must be paid per Proffered Condition 16. (P)

#### GENERAL INFORMATION

##### Associated Public Hearing Cases:

03SN0119 – John G. “Chip” Dicks  
04PR0201 – NRP Group L.L.C.

##### Developer:

NRP Group L.L.C.

##### Design consultant:

Site Engineering – Timmons Group  
Architecture and Landscape Architecture - Cline Design Associates PA.

##### Location:

North line of West Hundred Road approximately 230 feet west of Womack Road also fronting approximately 770 feet on the west line of Womack Road approximately 200 feet west of West Hundred Road. Tax IDs 785-653-5567, 7929 and 9019; 785-654-Part of 5817; 785-654-7621; and 7621; 786-653-0382; and 786-654-0329 (Sheet 26).

##### Existing Zoning and Land Use:

R-MF; Single family residential or vacant

Size:

27.8 acres

Adjacent Zoning and Land Use:

- North - R-7 and R-7 with Conditional Use (Stock farm); Single family residential or vacant
- South - A, R-7 and O-2; Single family residential or vacant.
- East - R-7 and C-2; Single family residential, commercial or vacant
- West - A; Vacant

BACKGROUND

The requested site plan will permit construction of thirty-two (32) senior housing apartments to be constructed along with 184 apartments previously approved with Case 04PR0201. The senior apartment units are one (1) story buildings.

The Phase II portion of the project encompassing the thirty-two (32) senior housing apartments have been redesigned and reoriented to retain the existing thirty-five (35) foot access easement along the north property line and not reduce the width of the fifty (50) foot buffer. Grading and tree removal is proposed within parts of the buffer. Removal of the trees within the buffer requires approval of the Planning Commission as part of site plan approval. The Ordinance requires the buffer to be planted at 1.5 times Perimeter Landscape "C". The exact replacement planting requirement will be determined once grading is complete during an on-site inspection with Planning Department staff.

In order to resolve Review Comment 4, additional paving at least twenty (20) feet wide will need to extend closer to the buffer for Buildings 21, 22, 23 and 25. This requires minor changes to grading, landscape and lighting plans as well as the site plan.

The applicant has submitted a request for a Development Standards Waiver to the requirement for a second entrance as required by the Zoning Ordinance for more than fifty (50) units (Case 04PW0371).

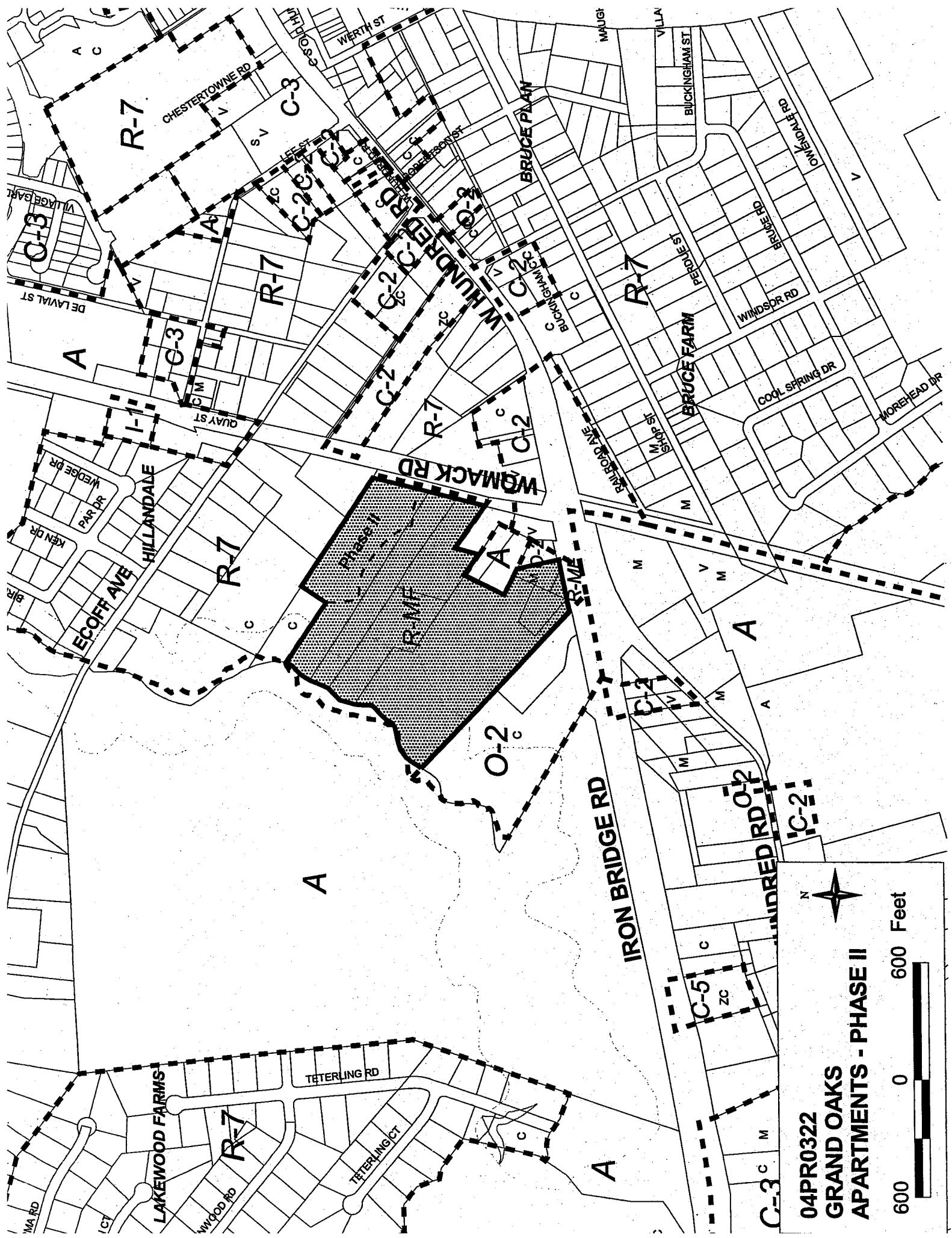
With the approval of the Phase One site plan (04PR0201) a condition was added to insure the construction of thirty-two (32) senior housing apartments. The text of Condition 3 of Case 04PR0201:

Revise thirty-two (32) living units located in the northern most part of the project to be senior housing apartments and indicate these on the site plan. The location of the senior housing apartments may be relocated with site plan approval of the second phase of this project.

Condition 3 of Case 04PR0201 allows the thirty-two (32) senior housing apartments to be relocated within the Phase II area with approval of this site plan, thereby allowing a total of 184 non-restricted apartments in Phase One.

### CONCLUSIONS

Review of this site plan by the Chesterfield County Planning Commission is required by Proffered Condition 18 of zoning Case 03SN0119. The site plan has been through one (1) complete review by the site plan review staff. Staff recommends Planning Commission approval of the site plan, including grading in the buffer with two (2) conditions and the review comments noted.



04PR0322  
GRAND OAKS  
APARTMENTS - PHASE II

600

0 600 Feet







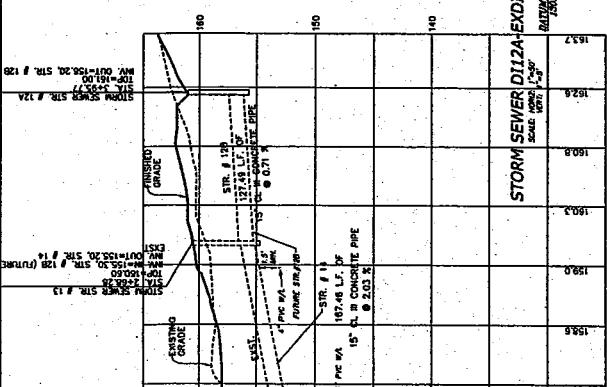
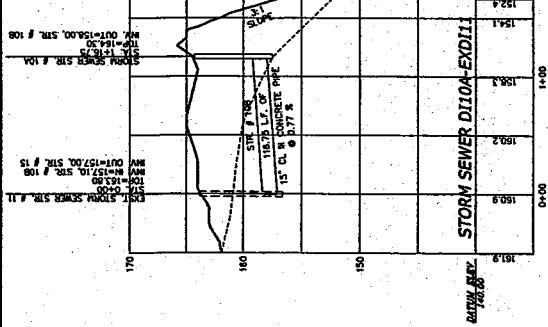
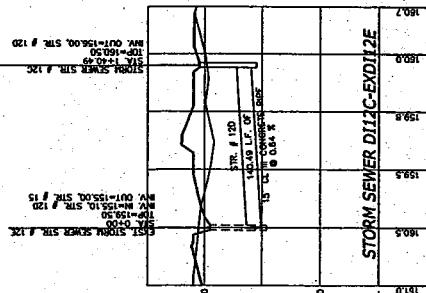
### GRAND OAKS APARTMENTS - PHASE II

#### **GRADING AND DRAINAGE PLAN**

A circular postmark from the Commonwealth of Virginia, State of Washington, dated October 26, 1963. The outer ring contains the text "COMMONWEALTH OF VIRGINIA" at the top and "STATE OF WASHINGTON" at the bottom. The center of the stamp features the date "OCTOBER 26 1963". A vertical "PROVISIONAL" postmark is visible on the right side.

**CONSTRUCTION NOTES:**

1. ALL FILL DURING SITE GRADING SHALL BE CONTRACTED STRUCTURAL FILL CONTRACTOR DOCUMENTATION THAT FILL WAS COMPACTED STD. #DUCTOR DRY DENSITY PER ASTM D-494



**LEGEND**

FINISHED SPOT GRADE	FINISHED TOP OF CURB GRADE	EXISTING GRADE	FINISHED GRADE
* 1/2" SC	* 1/2" AC	---	---

CIR330-PC

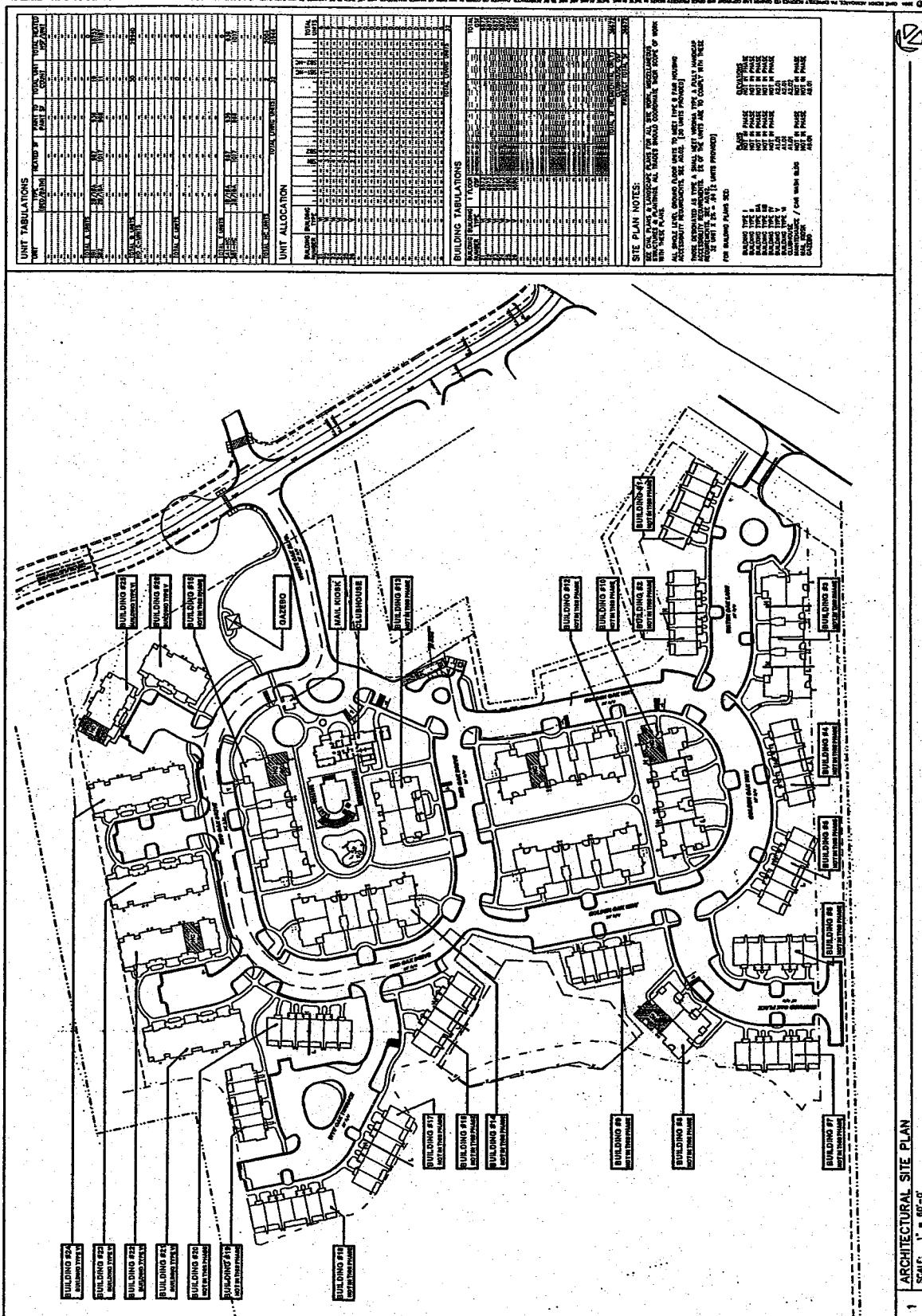
601 - TH-GBES Engineering\12369\_Jhz\dwg\CO5\_08-Gardening\_PZ.dwg, 04/22/2004 01:45:00  
Sheet 1 of 1  
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Job No.  
**21369**  
Shift No.  
**C5.0**

COUNTY SITE PLAN # \_\_\_\_\_ COUNTY PROJECT # \_\_\_\_\_

**CDA**  
CLINT DIBBLE  
ARCHITECTURE125 N. Washington St.  
Raleigh, NC 27603  
919/823-6613  
919/823-1200 FAX  
CDIB@AOL.COM**the NRP**  
GROUP LLCSENIOR'S APARTMENTS  
CHESSTEAK, VILLAGINI**GRAND OAKS**04014  
03.12.04  
Project Date  
RevisionsDrew By DRB, HAK  
Checked By \_\_\_\_\_  
Original ARCHITECTURAL SITE  
PLAN

Sheet A0.50





225 N. Harrington St.  
Seattle, WA 98103  
19-833-6413  
19-838-1280 FAX  
[www.Designs4Success.com](http://www.Designs4Success.com)

group LLC  
**NRB**  
the

GRAND OAKS

CHESSTEK, ALLEGHENIA

A2.01

Project	04014
Date	03.12.04
Architects	JGD, DBB
Drawn By	
Checked By	
Client	
BUILDING TYPE	
USE	
LEVELS	
EL. DIFF.	
EL. MAX.	
EL. MIN.	
EL. AVG.	
EL. FLOOR	
EL. ROOF	
EL. GROUND	
EL. BASE	
EL. TERRACE	
EL. STAIR	
EL. ELEVATION	

04PRO322-6



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SENIOR'S APARTMENTS  
CHESTER, VIRGINIA

GRAND OAKS

Project No. 04014  
Date 03/12/04  
Revisions  
Drawn By JGD, DRB  
Checked By \_\_\_\_\_  
Building Type Six  
Building Type Six  
Elevations  
Sheet A202

## GENERAL NOTES - ELEVATIONS

GENERAL NOTES - ELEVATIONS

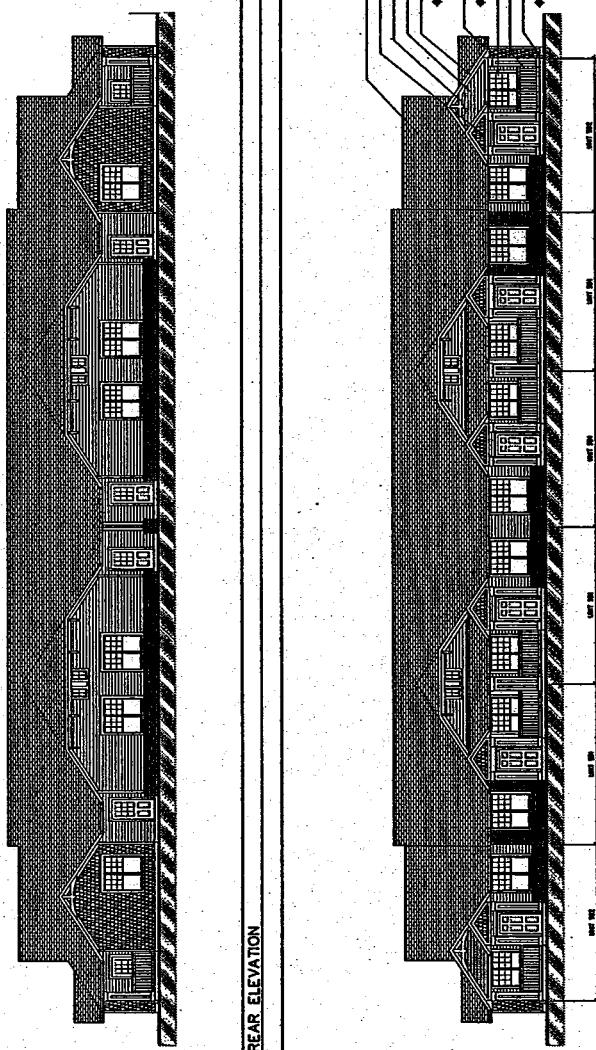
## TYPICAL DETAILS - ELEVATIONS

## STANDARD DETAILS

## COLOR SCHEDULE

## STANDARD DETAILS

STANDARD DETAILS



2 BUILDING TYPE SIX - REAR ELEVATION  
SCALE: 1/8" = 1'-0"

1 BUILDING TYPE SIX - FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

04PRO322-7



## PHASE 2

### SURFACE PARKING AREA LANDSCAPE CALCULATION

REQUIRED INTERIOR LANDSCAPING	49 PARKING SPACES @ 30 S.F. EACH =	1,470 S.F.
PROVIDED INTERIOR LANDSCAPING		2,483 S.F.
REQUIRED TREE PLANTING	# TREES	
	14 TREES	

### PERIMETER LANDSCAPE CALCULATIONS

AREA	150' LF		100' LF		50' LF		100' LF		50' LF		100' LF	
	LARGE DECIDUOUS TREES REQUIRED	PROVIDED	EVERGREEN TREES REQUIRED	PROVIDED	SMALL DECIDUOUS TREES REQUIRED	PROVIDED	MEDIUM SHRUBS REQUIRED	PROVIDED	SMALL DECIDUOUS TREES REQUIRED	PROVIDED	MEDIUM SHRUBS REQUIRED	PROVIDED
49' LF (OP. BUFFER 1.1x7 TIMES TYPE C)	17	*	28	28	28	*	84	84	64	64	64	64
7.323.6' LF (OP. ROW SETBACK)	6	*	11	*	11	*	32	32	32	32	32	32

\* MINIMUM ATTACHMENT TO BE MET WITH PRESERVED EXISTING TREES

1 1062.2' LF  
50' BUFFER (SEE PLAN)

2 323.6' LF

LIMITS OF PHASE 2

ACCESS EASEMENT

MATCHLINE SEE SHEET L1.1

EXISTING TREELINE

RPA LINE

04 PRO 332-9

RECREATION AREA 1  
0.71 AC.

RECREATION AREA 2  
1.30 AC.



## LANDSCAPE MATERIALS LIST

### LARGE MATURING DECIDUOUS TREES

KEY	BOTANICAL NAME	COMMON NAME	QTY.	CALIPER	HEIGHT	SPREAD	ROOT	SPECIFICATIONS
AR	Acer rubrum 'October Glory'	October Glory Red Maple		2.5" min			B&B	Matched specimens, Full
QP	Quercus phellos	Willow Oak		2.5" min			B&B	Matched specimens, Full
QS	Quercus 'shumardii'	Shumard Oak		2.5" min			B&B	Matched specimens, Full
QU	Quercus species	Specimen Oak		4" min			B&B	Matched specimens, Full
UP	Ulmus parvifolia 'Emer II'	Allee Chinese Elm		2.5" min			B&B	Matched specimens, Full

### EVERGREEN TREES

KEY	BOTANICAL NAME	COMMON NAME	QTY.	CALIPER	HEIGHT	SPREAD	ROOT	SPECIFICATIONS
IF	Ilex x attenuata 'Fosteri'	Foster Holly		7"			Cont.	Full
INS	Ilex x Nellie R. Stevens'	Nellie Stevens Holly		7"			Cont.	Full
JV	Juniperus virginiana	Eastern Red Cedar		7"			Cont.	Full
PT	Pinus taeda	Loblolly Pine		7"			Cont.	Full

### SMALL MATURING DECIDUOUS TREES

KEY	BOTANICAL NAME	COMMON NAME	QTY.	CALIPER	HEIGHT	SPREAD	ROOT	SPECIFICATIONS
AB	Amelanchier 'Autumn Brilliance'	Autumn Brilliance Serviceberry		8" min				multi-stem
LF	Lagerstroemia Faurei 'Muscosa'	Muskogee Crepe Myrtle		10" min				multi-stem
LN	Lagerstroemia indica 'Natchez'	Natchez Crepe Myrtle		10" min				multi-stem
LT	Lagerstroemia indica 'Tuskegee'	Tuskegee Crepe Myrtle		10" min				multi-stem
MV	Magnolia virginiana	Sweetbay Magnolia		8" min				multi-stem

### MEDIUM SHRUBS

KEY	BOTANICAL NAME	COMMON NAME	QTY.	CALIPER	HEIGHT	SPREAD	ROOT	SPECIFICATIONS
AG	Abelia x grandiflora	Glossy Abelia		18"			3 gal.	42" ec
BD	Buddleia dawsonii 'Pink Delight'	Pink Delight Butterfly Bush		18"			3 gal.	as shown
EA	Euonymus alatus 'Compacta'	Dwarf Burning Bush		18"				
ICB	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly		18"			48" ec	
ICC	Ilex cornuta 'Corissa'	Corissa Holly		18"			36" ec	
ICN	Ilex cornuta 'Needlepoint'	Needlepoint Holly		18"			30-36" ec	
IG	Ilex glabra	Highberry Holly		18"			42" ec	
LC	Loropetalum chinense	Loropetalum		18"			42" ec	
MS	Miscanthus sinensis 'Sorbet'	Maiden Grass		18"			3 gal.	42" ec
OH	Osmunda cinnamomea	Holly Osmundas		18"			as shown	
VA	Viburnum arborescens 'Chindo'	Chindo Viburnum		18"				4.5" ec

### SMALL SHRUBS AND GROUNDCOVERS

KEY	BOTANICAL NAME	COMMON NAME	QTY.	CALIPER	HEIGHT	SPREAD	ROOT	SPECIFICATIONS
ANH	Anemone	To be determined at installation		TBD			2.25 gal	ec
AGS	Abelia x grandiflora 'Sherwood'	Sherwood Abelia		18"			3 gal.	36" ec
BT	Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Barberry		18"			3 gal.	30" ec
HH	Hamamelis 'Hyperion'	Hyperion Witchhazel		12"			1 gal.	18" ec
IV	Ilex vomitoria 'Nana'	Dwarf Yaupon		18"			3 gal.	30" ec
JP	Juniperus 'Pfitzeriana Compacta'	Compact Pfitzer Juniper		18"			3 gal.	42" ec
LM	Ligustrum ovalifolium 'Royal Purple'	Ligustrum		8"			1 gal.	18" ec
MC	Myrica cerifera	Wax Myrtle		24"				5" ec
MU	Muhlenbergia capillaris	Pink Muhly Grass		18"				4" ec
NDH	Nandina domestica 'Harbor Dwarf'	Harbor Dwarf Nandina		15"				18" ec
PA	Pennisetum alopecuroides	Fountain Grass		18"			3 gal.	30" ec
PER	Perennials	To be determined at installation		TBD				see specs.
RG	Rudbeckia hirta 'Goldilocks'	Goldilocks Black-Eyed Susan		12"			1 gal.	18" ec
SA	Spiraea 'Anthony Waterer'	Anthony Waterer Spirea		18"			3 gal.	36" ec
VM	Vinca minor	Small Leaf Periwinkle		4"			1 gal.	18" ec
YU	Yucca filamentosa	Adam's Needle Yucca		18"			1 gal.	24" ec
Seed								see specs.
Turf								see specs.

### WETLAND DETENTION PLANTING

KEY	BOTANICAL NAME	COMMON NAME	QTY.	CALIPER	HEIGHT	SPREAD	ROOT	SPECIFICATIONS
CR	Carex riparia	Greater Pond Sedge						48" ec
CS	Cornus sanguinea	Redosier Dogwood			18"		3 gal.	5" ec
PV	Panicum virgatum 'Heavy Metal'	Blue Switch Grass					1 gal.	48" ec
PVS	Panicum virgatum 'Shenandoah'	Red Switch Grass					1 gal.	36" ec
ID	Taxodium distichum	Bald Cypress		2.5" min	7'		B&B	Matched specimens, Full

## LARGE DECIDUOUS TREE LEGEND

	UP	ULMUS PARVIFOLIA 'EMER II'
	QS	QUERCUS 'SHUMARDII'
	QP	QUERCUS PHELLOPS
	QV	QUERCUS VIRGINIANA
	AR	ACER RUBRUM 'OCTOBER GLORY'
	PT	PINUS TAEDA

## LEGEND

	SLOPE REVEGETATION MIX
	EXISTING TREE PRESERVATION
	WETLAND PRESERVE AREA

04PRO33Z-10

